



# TE KATONGA NUI

**KAUMĀTUA UNIT\***

BLOCK A

**UNIT SIZE**

1 - BED 50.5 SQM  
2 - BED 66.5 SQM

**SECTION SIZE**

2125 SQM

**NUMBER OF BEDROOMS**

1 & 2-BEDROOMS

**NUMBER OF BATHROOMS**

1

**\* PROPOSED DESIGNS**



DELIVERED IN PARTNERSHIP  
WITH KA URURANGI

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PLANNING & ZONING		CONSTRUCTION		CLADDING		FITOUT	
Lot / DP Number	Part Section 2 Okato TN BELT, Section 3 SO 453138	Foundation Type	Cupolex Foundation System	Wall Cladding Type 1	JH Stria	Flooring Types	Carpet/Vinyl
Address	Ōkato School Development Taranaki	Stud Height	2.4m	Wall Cladding Type 2	JH Axon 133	Balustrade Type	N/A
Territorial Authority	NPDC	Typical Joinery Height	2.1m	Wall Cladding Type 3	Truwood Vertical Weatherboards	Shower Type	Acrylic
District Plan Zone	Low Density Residential	Typical Internal Door Height	2m	Roof Cladding	Corrugate Coloursteel	Water Heating	HWC
Easements	N/A	Rebated Joinery	N/A	Fascia Type	Metal	Space Heating	Heatpump
Relevant Consent Notices	Refer to Resource Consent	Wall Underlay	Thermakraft Watergate Plus	CONSULTANTS		SITE/BUILDING INFORMATION	
Resource Consent #	SUB23/48158 & LUC24/48481	Roof Underlay	Thermakraft Covertek 407				
Wind Zone	High as per NZS3604	Wall Insulation	90mm Pink Batts R2.2				
Corrosion Zone	C	Ceiling Insulation	225mm Pink Batts Superbatts R5				
Earthquake Zone	1	Floor Insulation	N/A	Topographical Survey	Envelope	Site Coverage	610.94 total (Refer to Site Plan)
		Wet Area Membrane	N/A	Structural Engineer	N/A	Floor Area	168.5m²
				Geotechnical Engineer	Envelope	Minimum Floor Level <small>(to u/s floor)</small>	To NZBC
				Truss Manufacturer	ITM		

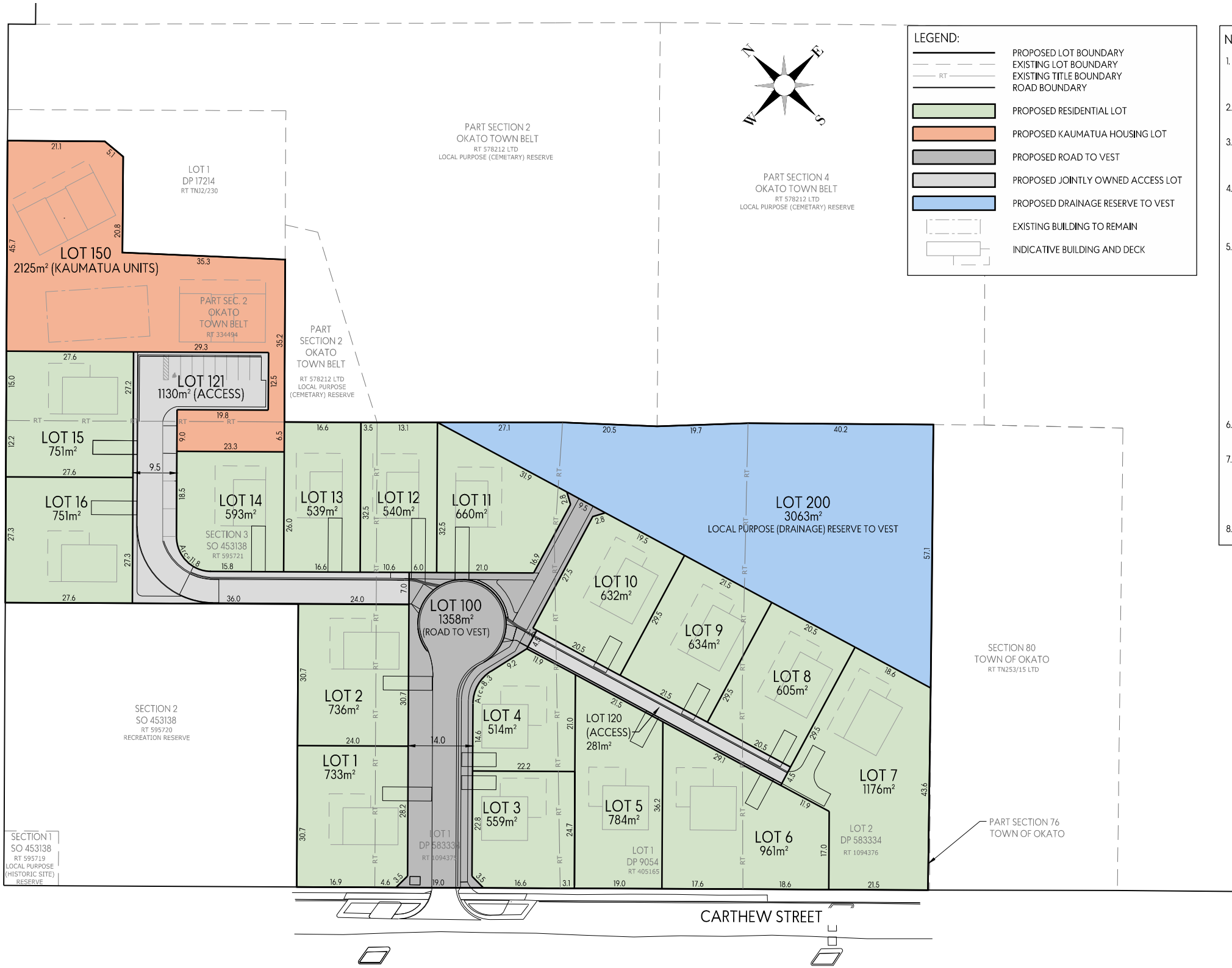


Kaumātua Block A			Client:	Taranaki Iwi Holdings LP				Drawing Set:	Working Drawings		All work must comply with relevant NZS & council requirements. All dimensions to be verified on site by contractor prior to commencing work, do not scale from drawings. If there are any inaccuracies with the drawings please contact designer immediately. Copyright for design & drawings retained by Prime Designs Wgtn Ltd.	
Ōkato School Development			Job No:	24101				Drawn By:	B Buchanan-Smith			
Taranaki			Date:	01/08/2025				Scale:				
admin@primedesigns.co.nz			04 528 8405	3 Jupiter Grove, Trentham, Upper Hutt				Drawing Sheet:	Project Specifications		Drawing No:	102

SOUTH ROAD (S.H. 45)

CARTHEW STREET  
(S.H. 45)

OLD SOUTH ROAD



- NOTES:
- THIS PLAN HAS BEEN PREPARED FOR RESOURCE CONSENT PURPOSES ONLY. NO DETAILED DESIGN SHOULD BE UNDERTAKEN UTILISING THIS DATA.
  - ALL AREAS, EASEMENTS AND DIMENSIONS SHOWN ARE SUBJECT TO A FULL LEGAL SURVEY AND APPROVAL BY LAND INFORMATION NZ.
  - THIS PLAN IS ISSUED FOR A SPECIFIC PROJECT AND MAY NOT BE ALTERED OR USED FOR ANY OTHER PURPOSE WITHOUT THE PRIOR WRITTEN CONSENT OF ENVELOPE ENGINEERING.
  - EXISTING BOUNDARIES SHOWN ON THIS PLAN ARE FROM LAND INFORMATION DCDB (06/09/2023) AND HAVE NOT BEEN SURVEYED. A BOUNDARY DEFINITION SURVEY SHOULD BE CARRIED OUT TO ESTABLISH EXACT BOUNDARY POSITIONS ON SITE.
  - LEGAL DESCRIPTION:
    - PART SECTION 2 OKATO TOWN BELT, COMPRISED IN RT 334494 (FOR A STATE PRIMARY SCHOOL) - 2756m<sup>2</sup>.
    - SECTION 3 SO 453138, COMPRISED IN RT 595721 (EDUCATION PURPOSES) - 4214m<sup>2</sup>.
    - LOT 1 DP 583334, COMPRISED IN RT 1094375 (FOR A STATE PRIMARY SCHOOL) - 3974m<sup>2</sup>.
    - LOT 1 DP 9054, COMPRISED IN RT 405165 (FOR A PUBLIC SCHOOL) - 4082m<sup>2</sup>.
    - LOT 2 DP 583334, COMPRISED IN RT 1094376 (FOR A PUBLIC SCHOOL) - 4093m<sup>2</sup>.COMBINED AREA OF TITLES: 19119 Ha.
  - THE LAND IN TITLES RT 334494 AND RT 595721 ARE SUBJECT TO A HERITAGE COVENANT CONTAINED IN 9275010.4.
  - THE RECORDS OF TITLE, LISTED IN ITEM 5 ABOVE, ARE CURRENTLY OWNED BY HIS MAJESTY THE KING AND ARE RFR LAND UNDER THE TARANAKI IWI CLAIMS SETTLEMENT ACT 2016 - CERTIFICATE 107857001. THEY MAY BE SUBJECT TO FURTHER INSTRUMENTS AND ENCUMBRANCES AS REQUIRED ON DISPOSITION FROM THE CROWN.
  - THESE NOTES ARE AN INTEGRAL PART OF THIS PLAN.

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REVISIONS:			
REV	NOTES	BY	DATE
R1	ISSUED FOR RESOURCE CONSENT	JEG	12.02.2023
R2	ISSUED FOR RESOURCE CONSENT	JEG	08.09.2023
R3	BUILDINGS UPDATED	JEG	20.09.2023
R4	UPDATED BUILDING, ROADING AND EXISTING BOUNDARIES	JEG	27.02.2024
R5	LOT COUNT REDUCED BY TWO LOTS	JEG	17.04.2024
R6	ROAD BOUNDARY UPDATES	JEG	06.07.2025

PROJECT:  
TARANAKI IWI HOLDINGS LIMITED PARTNERSHIP  
OKATO SCHOOL,  
OKATO, TARANAKI.

TITLE:  
SCHEME PLAN OF PROPOSED SUBDIVISION

**ENVELOPE**  
W W W . E N V E L O P E - E N G . C O . N Z

DESIGNED: JEG  
CHECKED: TOF  
SCALE A1: 1:500  
STATUS: RESOURCE CONSENT  
PROJECT No: 1653-01  
DRAWING No: 108  
REVISION: R6

MEMORANDUM OF EASEMENTS			
PURPOSE	SHOWN	BURDENED LAND (SERVIENT TENEMENT)	BENEFITED LAND (DOMINANT TENEMENT)
RIGHT OF WAY, RIGHT TO CONVEY WATER, GAS, ELECTRICITY AND TELECOMMUNICATIONS	LOT 120	LOT 120	LOTS 5 TO 10
RIGHT TO DRAIN WATER			LOTS 5 AND 6
RIGHT OF WAY, RIGHT TO DRAIN WATER, RIGHT TO CONVEY WATER, GAS, ELECTRICITY AND TELECOMMUNICATIONS	LOT 121	LOT 121	LOTS 13 TO 16 AND LOT 150

MEMORANDUM OF EASEMENTS IN GROSS			
PURPOSE	SHOWN	BURDENED LAND (SERVIENT TENEMENT)	GRANTEE
RIGHT TO CONVEY WATER	LOTS 120	LOT 120	NEW PLYMOUTH DISTRICT COUNCIL
RIGHT TO DRAIN WATER AND RIGHT TO CONVEY WATER	LOTS 121	LOT 121	

SCHEDULE OF PROPOSED EASEMENTS IN GROSS			
PURPOSE	SHOWN	BURDENED LAND (SERVIENT TENEMENT)	GRANTEE
RIGHT TO CONVEY TELECOMMUNICATIONS	LOT 120 AND 121	LOTS 120 AND 121	ULTRAFAST FIBRE LIMITED
RIGHT TO CONVEY GAS AND ELECTRICITY			POWERCO LIMITED

#### AMALGAMATION CONDITIONS:

- LOT 120 (LEGAL ACCESS) TO BE HELD AS TO SIX UNDIVIDED ONE SIXTH SHARES BY THE OWNERS OF LOTS 5 TO 10 AS TENANTS IN COMMON IN SAID SHARES AND THAT INDIVIDUAL RECORDS OF TITLE TO BE ISSUED IN ACCORDANCE THEREWITH.
- LOT 121 (LEGAL ACCESS) TO BE HELD AS TO FIVE UNDIVIDED ONE FIFTH SHARES BY THE OWNERS OF LOTS 13 TO 16 AND LOT 150 AS TENANTS IN COMMON IN SAID SHARES AND THAT INDIVIDUAL RECORDS OF TITLE TO BE ISSUED IN ACCORDANCE THEREWITH.

#### OWNERS ASSOCIATIONS:

- ALL THE OWNERS OF LOTS 5 TO 10 SHALL BECOME MEMBERS OF AN OWNERS ASSOCIATION ESTABLISHED FOR THE REPAIRS, MAINTENANCE, AMENITY AND OTHER LIKE THINGS FOR LOT 120 (ACCESS).
- ALL THE OWNERS OF LOTS 13 TO 16 AND LOT 150 SHALL BECOME MEMBERS OF AN OWNERS ASSOCIATION ESTABLISHED FOR THE REPAIRS, MAINTENANCE, AMENITY AND OTHER LIKE THINGS FOR LOT 121 (ACCESS).

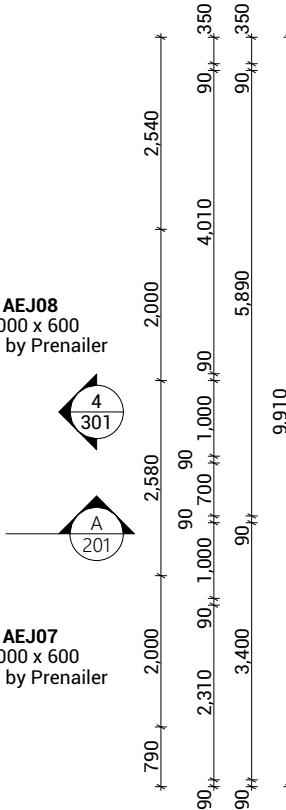
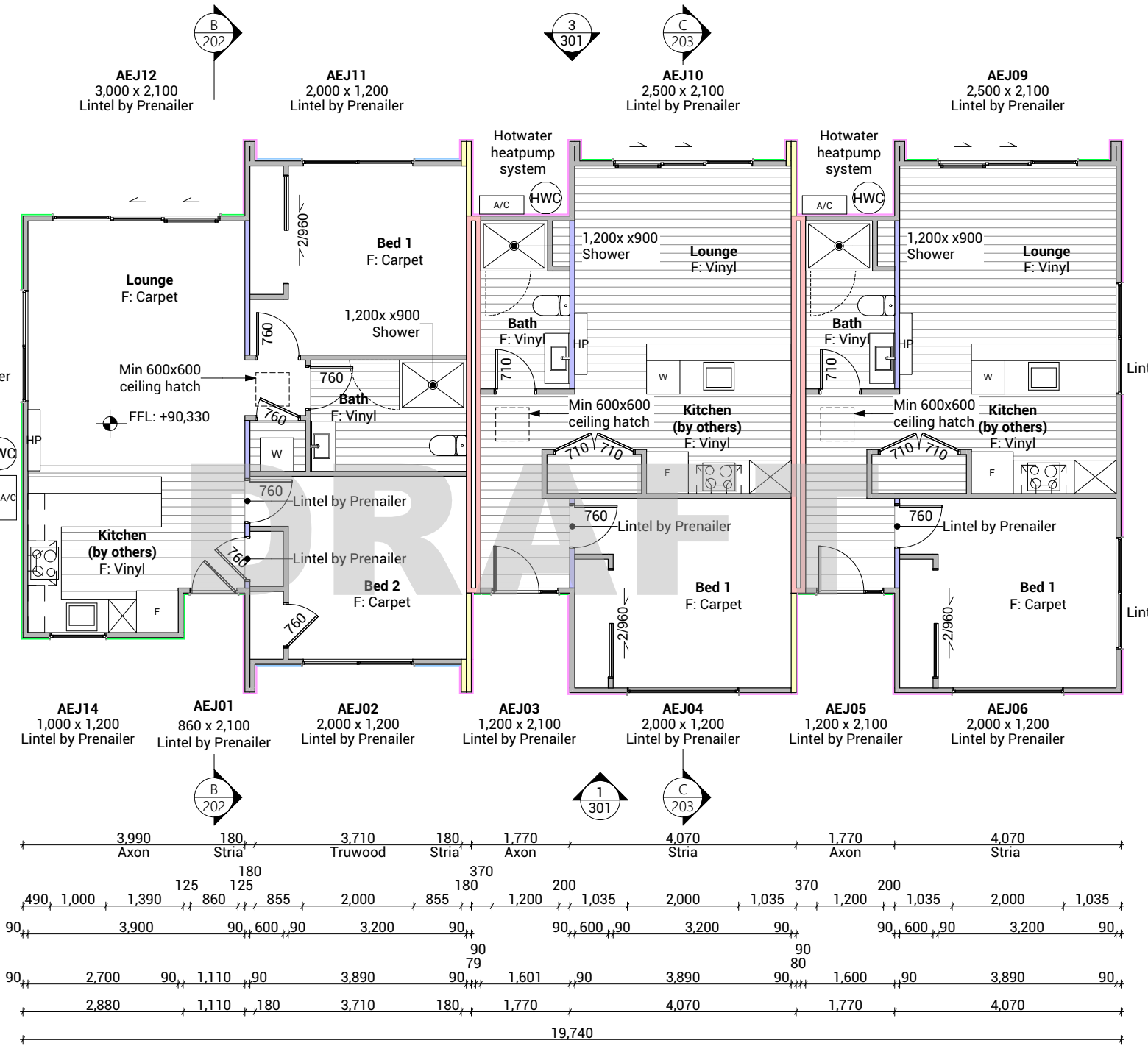
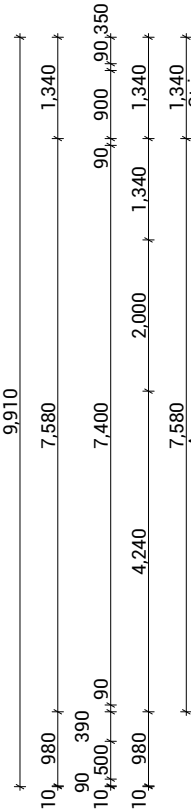
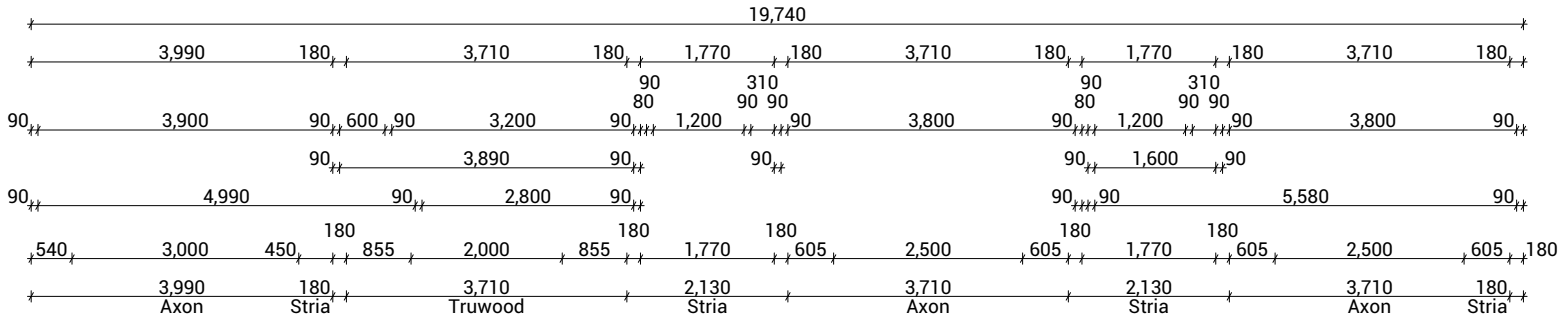


Cladding Legend

- JH Stria
- JH Axon 133
- Truwood Vertical Weatherboards

Wall Legend

- Internal Load Bearing Wall
- JHETSS60h Fire Rated Wall
- GBTLAB 60b Fire Rated Wall



KU-A Unit 1	Total Floor Area	66.19
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Space	Glazing (NZBC G7)		Ventilation (NZBC G4)	
	Floor Area	Glazing Area	Glazing%	Ventilation Area
Living Space	27.9m²	11.706m²	41.96%	2.6125m²
Bed 1	11.57m²	2.4m²	20.74%	1.045m²
Bed 2	11.15m²	2.4m²	21.52%	1.045m²

KU-A Unit 2	Total Floor Area	66.19
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Space	Glazing (NZBC G7)		Ventilation (NZBC G4)	
	Floor Area	Glazing Area	Glazing%	Ventilation Area
Living Space	21.90	6.3m²	22.58%	3.86m²
Bed 1	11.57m²	2.4m²	20.74%	1.034m²

KU-A Unit 2	Total Floor Area	66.19
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Space	Glazing (NZBC G7)		Ventilation (NZBC G4)	
	Floor Area	Glazing Area	Glazing%	Ventilation Area
Living Space	21.90	6.3m²	22.58%	3.86m²
Bed 1	11.57m²	2.4m²	20.74%	1.034m²

Kaumātua Block A Client: Taranaki Iwi Holdings LP

Ōkato School Development Job No: 24101

Taranaki Date: 01/08/2025

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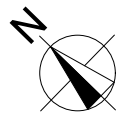
Drawing Set: Working Drawings

Drawn By: B Buchanan-Smith

Scale: 1:100

Drawing Sheet: Floor Plan

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Drawing No: 108

Roof Plan Notes

General Notes

Roof framing general  
Trusses designed by truss manufacturer, refer to manufacturer's documentation.

All enclosed framing to be H1.2 SG8 unless otherwise noted. Framing to comply with NZS3604:2011

Client selected metal fascia.

Roof bracing to comply with NZS3604:2011 section 10.4

**Zone B & C fixings and fastenings**  
Structural fixings except fabricated brackets in a Sheltered environment to be - Hot-dipped galvanized steel  
Structural fixings except fabricated brackets in an Exposed environment to be - Type 304 stainless steel  
All fixings be suitable for exposure zone C as outlined in NZS3604:2011 section 4.4 "steel fixings and fastenings"

**Continuous spouting rainwater system**  
Continuous spouting rainwater system, spouting to have 5,000mm² cross sectional area, DN80 downpipes unless otherwise noted.

Roof Bracing

**Steel strip roof bracing**  
Diagonally opposing pair of continuous steel strips at a 45° each having a capacity of 4.0kN in tension, fixed to each top chord or rafter that is intersected and to the top plate  
**Bottom Cord Restraints for GIB Rondo clip system**  
When GIB Rondo clip system is installed additional 90x35 SG8 battens @ 1800ctrs max as bottom cord restraints required.

Underlay

**Roof underlay**  
Thermakraft Covertex 407 Fire-Retardant self-supporting roof underlay run vertically over purlins & horizontally on roof pitches less than 10 degrees. Fix using stainless steel 8-12mm staples or 20mm flat head clouts at 300mm crs. 150mm min cover over vertical and horizontal joints. Refer to manufacturer's information.

Roof Cladding

**Corrugated roof cladding on purlins**  
0.55mm BMT corrugated profile Colorsteel Maxam roof cladding on purlins over roof underlay.

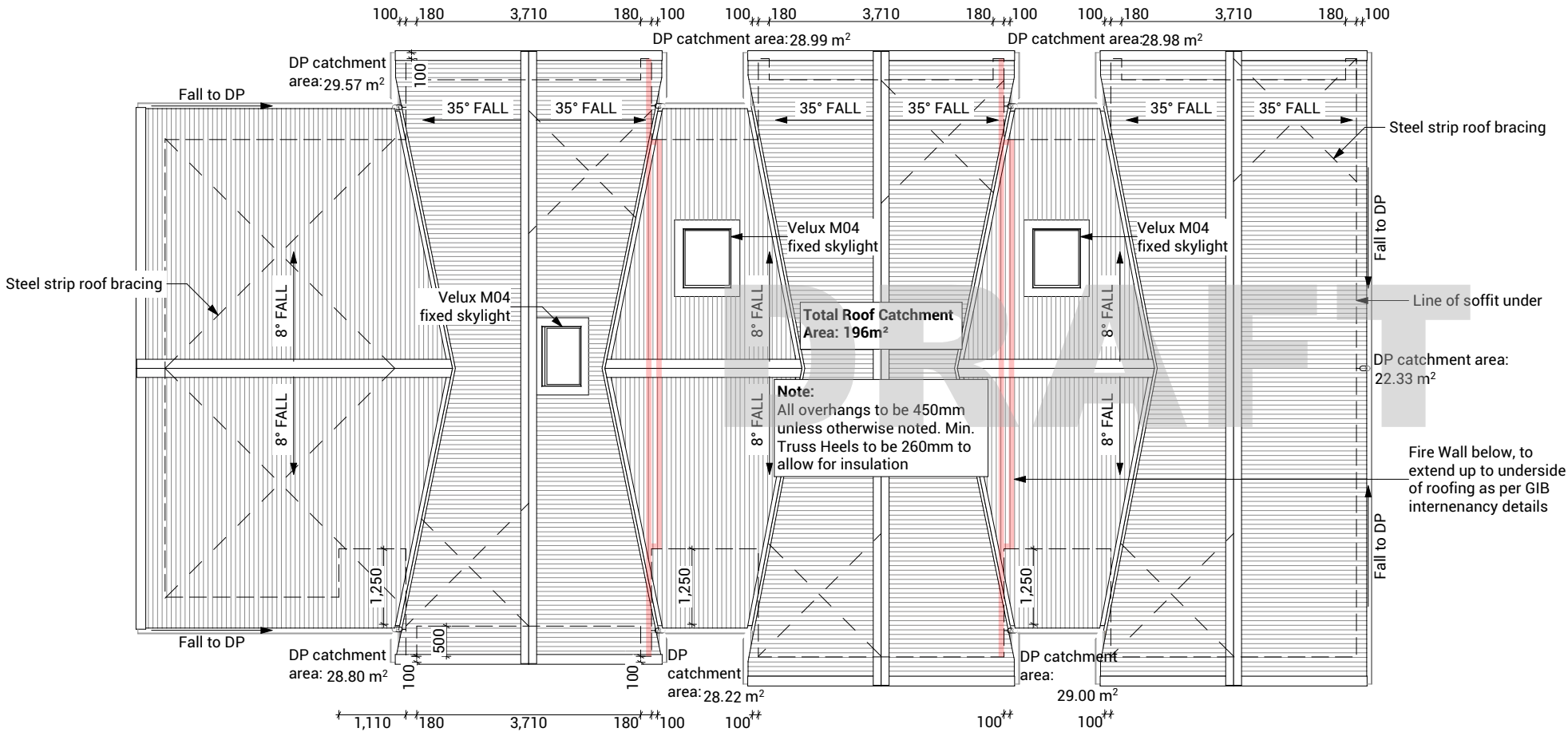
Purlins

**70x45 Purlins (up to VH)**  
70x45mm H1.2 SG8 purlins @ 900mm crs regular spacing & 600mm crs end spacing, fixed to trusses with 1/10g 80mm long self-drilling screw or alternative 2.4kN fixing.

**Gable Verge Overhang (450mm)**  
90x45mm H1.2 SG8 purlins fixed as per regular purlins to minimum 3 truss top cords or rafters to create 450mm max overhang.

Soffit Lining

**6mm HardieFlex soffit lining**  
6mm James Hardie HardieFlex soffit lining fixed to 90x45mm H1.2 soffit framing using 40 x 2.8mm HardieFlex nails at 200mm crs. Soffits jointed with proprietary uPVC jointers.



Kaumātua Block A Client: Taranaki Iwi Holdings LP

Ōkato School Development Job No: 24101

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Print In Color



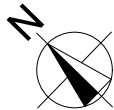
Drawing Set: Working Drawings

Drawn By: B Buchanan-Smith

Scale: 1:100

Drawing Sheet: Roof Plan

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Drawing No: 110

Electrical Notes

**General electrical notes**  
Ensure all habitable rooms are fitted with a minimum of one light fixture. All habitable internal spaces are to have a minimum illuminance of 20 lux or a minimal total wattage required per m2 of floor area as shown in G8/AS1, Table 1. Lights in the stairwell to provide 100lux at tread level or a total wattage per m2 of floor plan area as shown in D1/AS1 table8,

All electrical works to be installed to comply with NZBC G9/AS1, AS/NZS 3000:2018, AS/NZS 3008.1.2:2017, AS/NZS 5000.2:2006

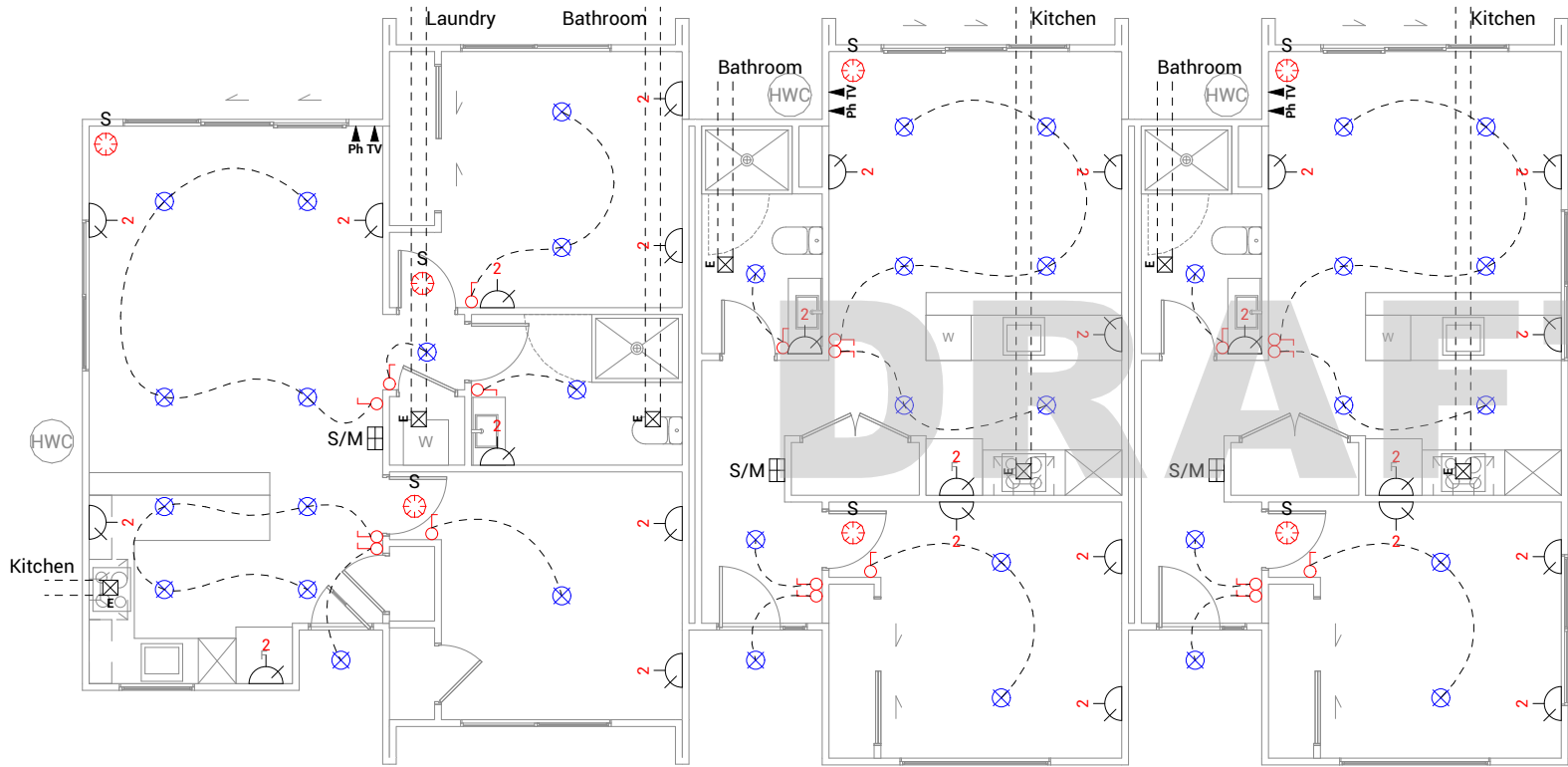
**Recessed downlights**  
Downlights to be CA135, CA180, IC, or IC-F to comply with AS/NZS 60598.2.2 Amendment A

**Smoke detectors**  
Smoke detectors to be installed to comply with NZBC F7/AS1, C/AS1, NZS 4514:2021 and be located on or near the ceiling, in all bedrooms, living spaces, hallways and landings within the building. Where the kitchen is separated from the living space and hallways by doors that can be closed a heat alarm shall be located in the kitchen. There shall be at least one smoke level on each level. Where more than one smoke alarm is needed to meet the requirements, these alarms shall be interconnected as per NZS 4514:2021 clause 2.5. Smoke detectors to meet at least one of the following standards: UL 217, CAN/ULC S531, BS EN 14604, ISO 12239 or AS 3786

**Mechanical ventilation**  
Extractor fans to be Manrose XF150 or similar, vent through soffit or wall as per manufacturer's installation instructions. Rangehood to be ducted and vented through soffit or wall. Dryer to be vented seperately as per NZBC G4.

Electrical Legend

- S/M Smart Meter
- S Smoke detector
- E Extractor fan
- Power point
- Ph Phone outlet
- TV Television outlet
- Light switch
- Two way light switch
- Recessed downlight



Kaumātua Block A Client: Taranaki Iwi Holdings LP

Ōkato School Development Job No: 24101

Taranaki Date: 01/08/2025

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Print In Color



Drawing Set: Working Drawings

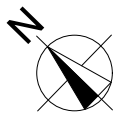
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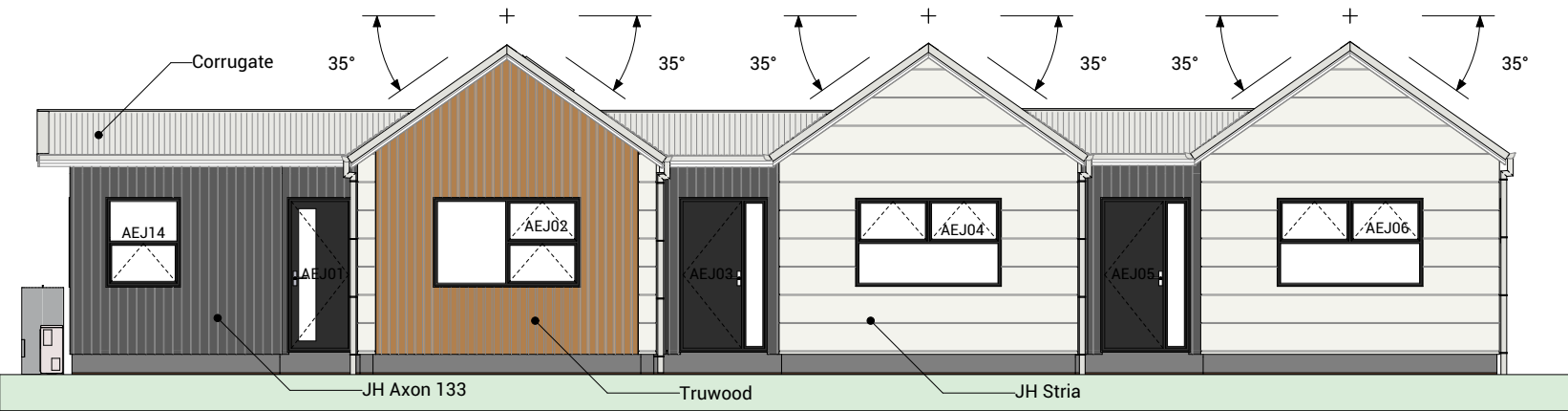
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Drawing Sheet: Electrical Plan

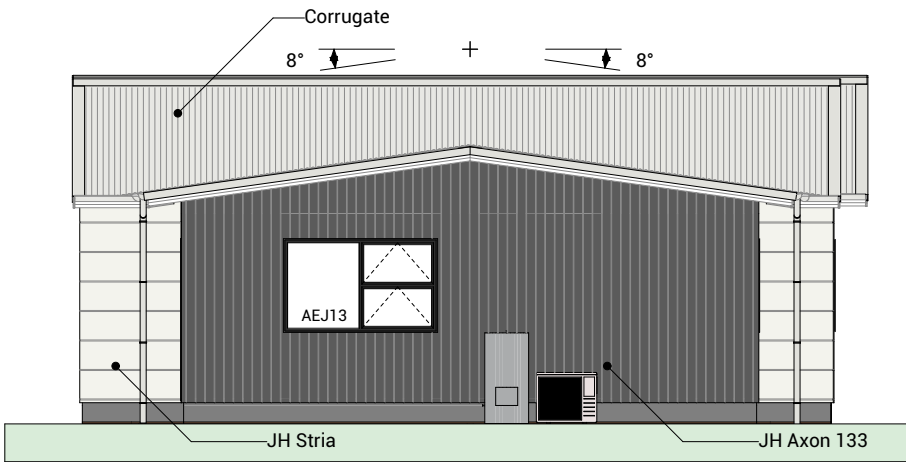
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Drawing No: 114





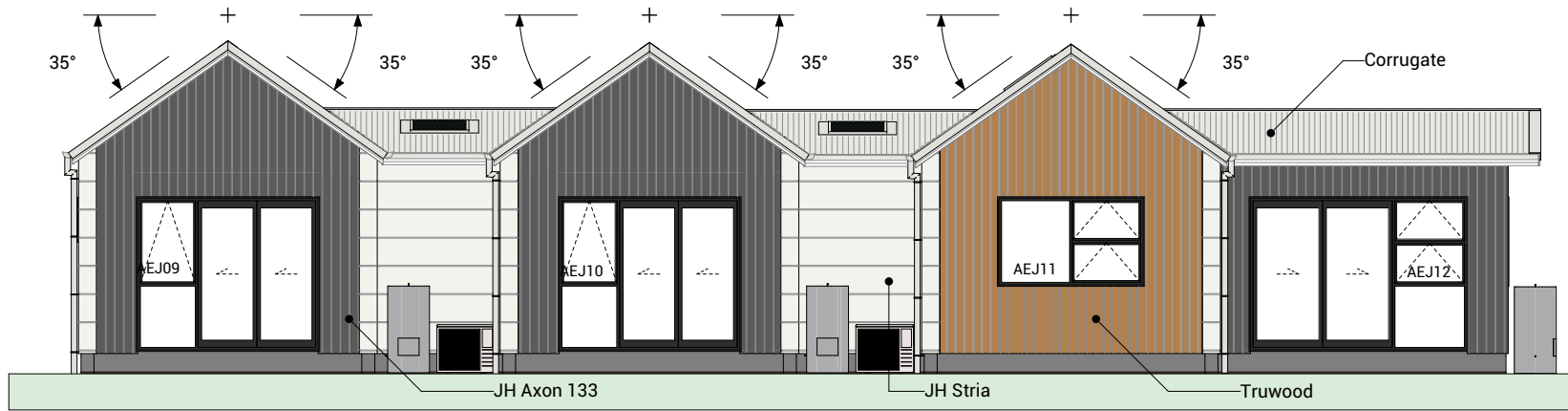
1 South-West Elevation 1:100



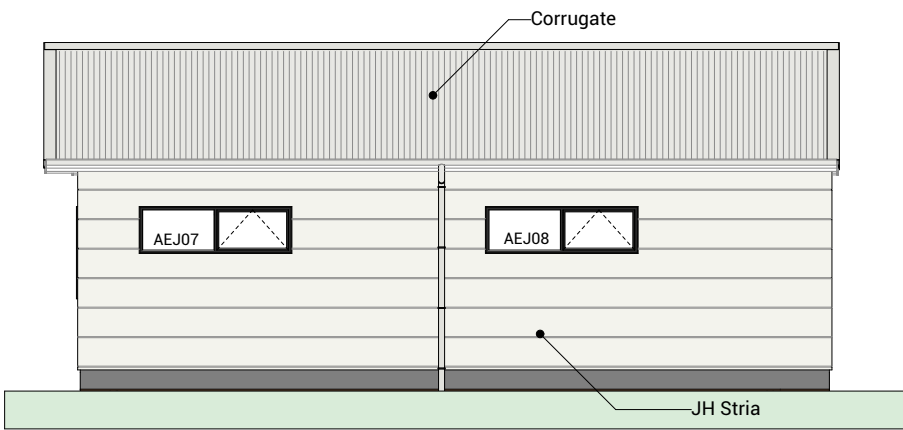
2 North-West Elevation 1:100

BUILDING ENVELOPE RISK MATRIX		
All Elevations		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	High risk	3
Eaves width	Very high risk	5
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:		10

DRAFT



3 North-East Elevation 1:100



4 South-East Elevation 1:100

Kaumātua Block A Client: Taranaki Iwi Holdings LP

Ōkato School Development Job No: 24101

Taranaki Date: 01/08/2025

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Drawing Set: Working Drawings

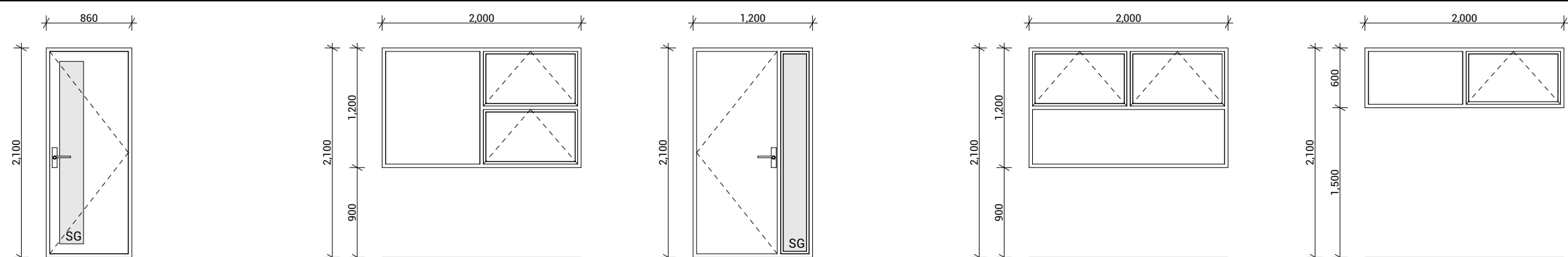
Drawn By: B Buchanan-Smith

Scale: 1:100

Drawing Sheet: Elevations

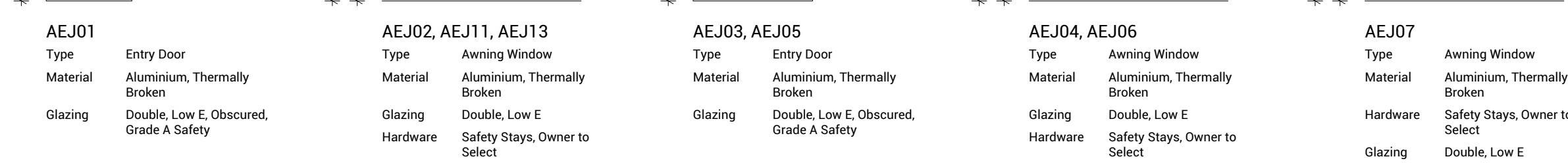
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Drawing No: 301



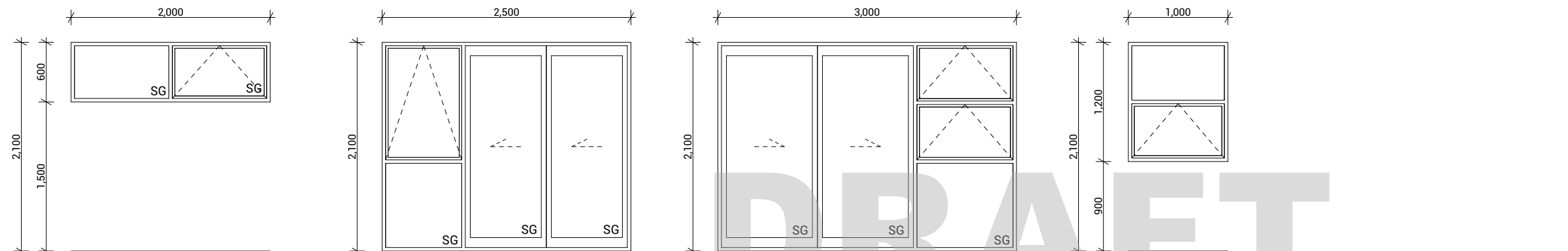
**AEJ01**

Type	Entry Door
Material	Aluminium, Thermally Broken
Glazing	Double, Low E, Obscured, Grade A Safety



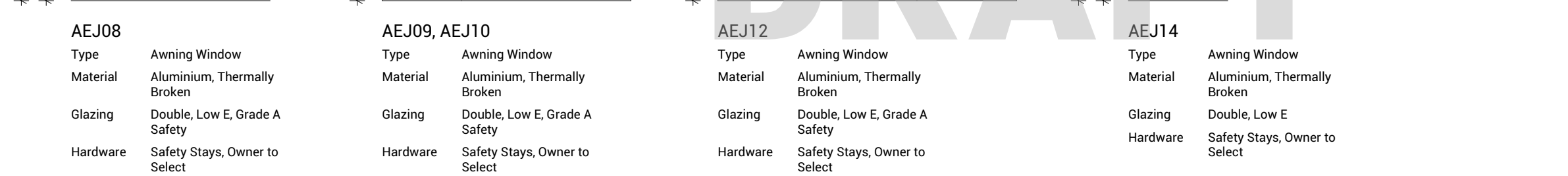
**AEJ02, AEJ11, AEJ13**

Type	Awning Window
Material	Aluminium, Thermally Broken
Glazing	Double, Low E
Hardware	Safety Stays, Owner to Select



**AEJ08**

Type	Awning Window
Material	Aluminium, Thermally Broken
Glazing	Double, Low E, Grade A Safety
Hardware	Safety Stays, Owner to Select



**AEJ09, AEJ10**

Type	Awning Window
Material	Aluminium, Thermally Broken
Glazing	Double, Low E, Grade A Safety
Hardware	Safety Stays, Owner to Select



**AEJ03, AEJ05**

Type	Entry Door
Material	Aluminium, Thermally Broken
Glazing	Double, Low E, Obscured, Grade A Safety



**AEJ04, AEJ06**

Type	Awning Window
Material	Aluminium, Thermally Broken
Glazing	Double, Low E
Hardware	Safety Stays, Owner to Select



**AEJ07**

Type	Awning Window
Material	Aluminium, Thermally Broken
Hardware	Safety Stays, Owner to Select
Glazing	Double, Low E

# Joinery Notes

**General joinery notes**  
All dimensions to be checked on site prior to fabrication

Windows & doors viewed from exterior

Window & door supplier is responsible for ensuring that all components fit the structure and opening size

All windows & doors to be installed in accordance with construction details in drawing set

**Aluminium joinery**  
Selected colour powder-coated thermally broken aluminium joinery. All head, jamb and sill liners to be 20mm H3.1 timber, painted

**Glazing**  
Glazing weight to comply with NZS4223.  
Glass to be Low E with a U value of 1.1.  
Double Pane with argon gas.

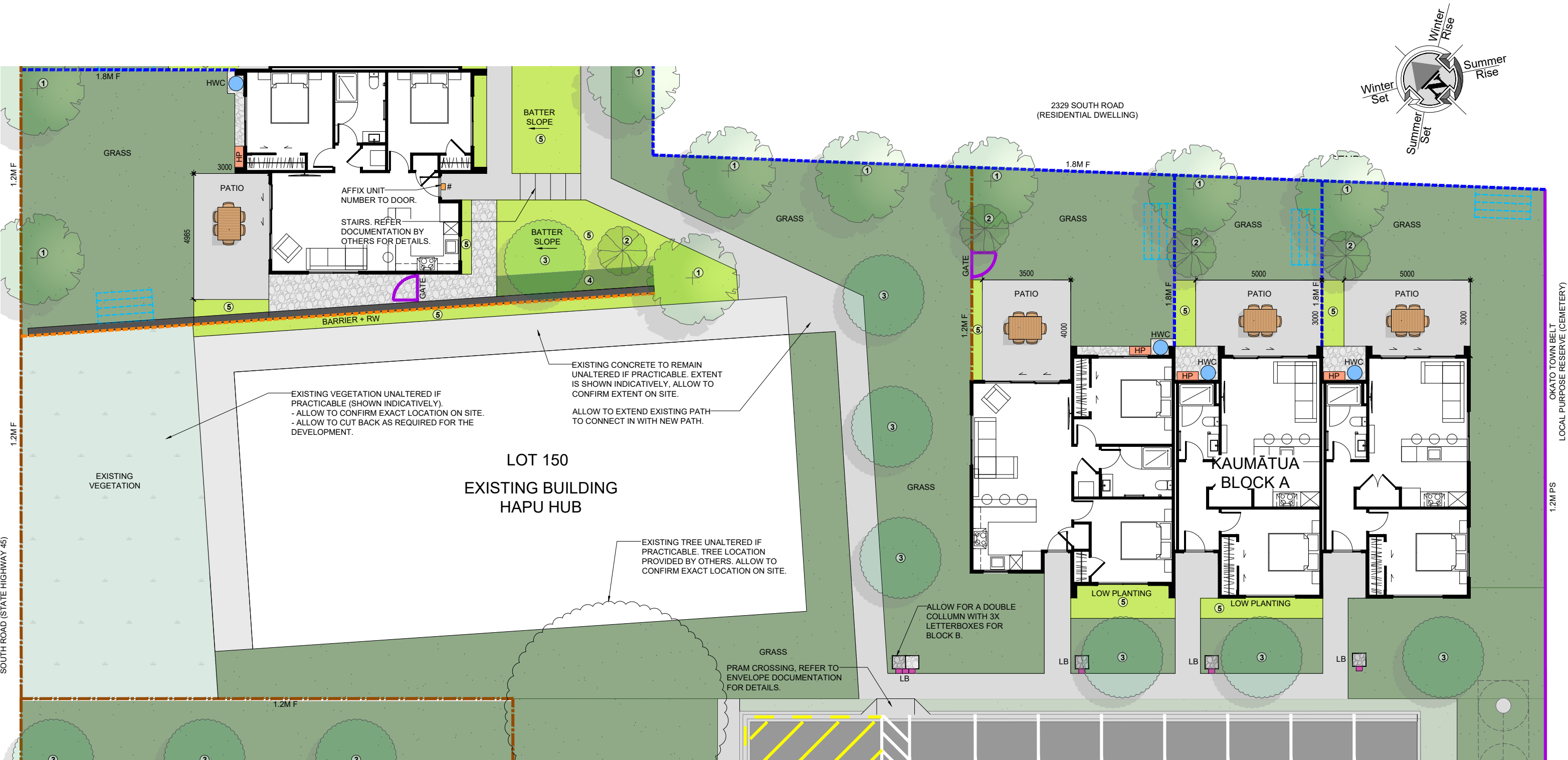
**Flashings and flexible flashing tape**  
All flashings and flashing tape to be installed to comply with NZBC E2/AS1 and manufacturer's specification. Do not fix through flashings unless otherwise specifically shown in details

**Window and door opening widths**  
All window and door sizes shown on the plan refer to 'Box' size only and do not allow for packers. pre-nailer to increase opening width accordingly

**Reveal Depths**  
Joinery manufacturer to check reveal depths to suit cladding system, wall underlay, wall framing & interior lining thickness.

**Window Restrictors**  
Place restrictor stays to all openable windows with sills within 760mm of floor level where a fall greater than 1m is possible from FFL to ground.





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OKATO SCHOOL  
OKATO, TARANAKI

FOR COUNCIL  
LANDSCAPE PLAN

REV: E    DATE: 25/06/2025    SHEET No.  

SCALES (A3):  
1:150

L2.17

25.06.2025

OKATO SCHOOL\_OKATO\_TARANAKI\_LANDSCAPE PLAN.DWG

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