



TE KATONGA NUI

KAUMĀTUA UNIT*	UNIT SIZE	SECTION SIZE	NUMBER OF BEDROOMS	NUMBER OF BATHROOMS
BLOCK A	1 - BED 50.5 SQM 2 - BED 66.5 SQM	2125 SQM	1 & 2-BEDROOMS	1

* PROPOSED DESIGNS



DELIVERED IN PARTNERSHIP
WITH KA URUORA

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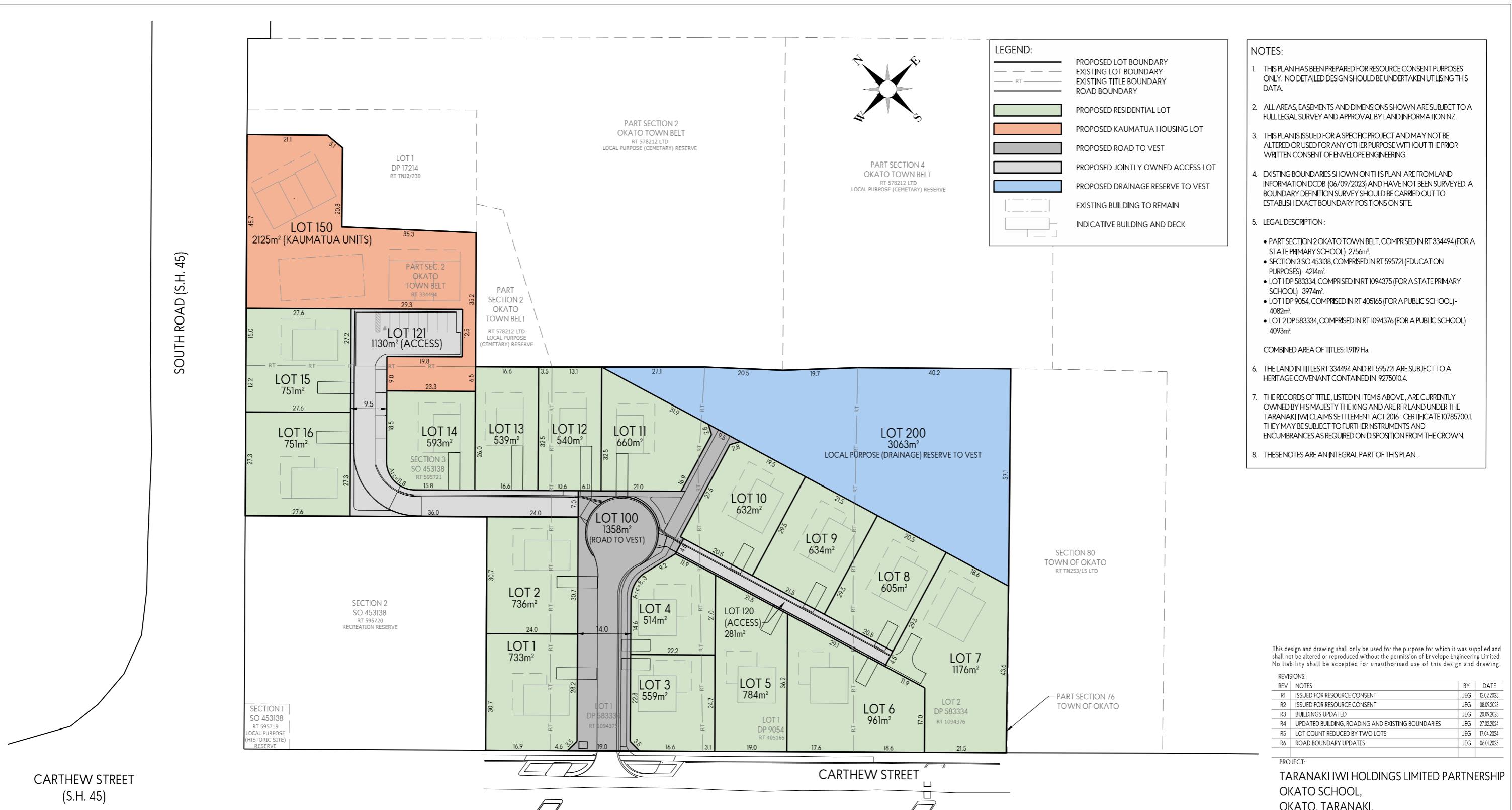


PLANNING & ZONING		CONSTRUCTION		CLADDING		FITOUT	
Lot / DP Number	Part Section 2 Okato TN BELT, Section 3 SO 453138	Foundation Type	Cupolex Foundation System	Wall Cladding Type 1	JH Stria	Flooring Types	Carpet/Vinyl
Address	Okato School Development Taranaki	Stud Height	2.4m	Wall Cladding Type 2	JH Axon 133	Balustrade Type	N/A
Territorial Authority	NPDC	Typical Joinery Height	2.1m	Wall Cladding Type 3	Truwood Vertical Weatherboards	Shower Type	Acrylic
District Plan Zone	Low Density Residential	Typical Internal Door Height	2m	Roof Cladding	Corrugate Coloursteel	Water Heating	HWC
Easements	N/A	Rebated Joinery	N/A	Fascia Type	Metal	Space Heating	Heatpump
Relevant Consent Notices	Refer to Resource Consent	Wall Underlay	Thermakraft Watergate Plus	CONSULTANTS		SITE/BUILDING INFORMATION	
Resource Consent #	SUB23/48158 & LUC24/48481	Roof Underlay	Thermakraft Covertek 407				
Wind Zone	High as per NZS3604	Wall Insulation	90mm Pink Batts R2.2	Topographical Survey	Envelope	Site Coverage	610.94 total (Refer to Site Plan)
Corrosion Zone	C	Ceiling Insulation	225mm Pink Batts Superbatts R5	Structural Engineer	N/A	Floor Area	168.5m ²
Earthquake Zone	1	Floor Insulation	N/A	Geotechnical Engineer	Envelope	Minimum Floor Level (to u/s floor)	To NZBC
		Wet Area Membrane	N/A	Truss Manufacturer	ITM		



Artistic impression only, not to be used for construction

Kaumātua Block A	Client: Taranaki Iwi Holdings LP	 Print In Color	 PRIME DESIGNS CREATIVE FUNCTIONAL ARCHITECTURE	Drawing Set: Working Drawings	All work must comply with relevant NZS & council requirements. All dimensions to be verified on site by contractor prior to commencing work, do not scale from drawings. If there are any inaccuracies with the drawings please contact designer immediately. Copyright for design & drawings retained by Prime Designs Wgtn Ltd.
Ōkato School Development	Job No: 24101			Drawn By: B Buchanan-Smith	
Taranaki	Date: 01/08/2025			Scale:	



MEMORANDUM OF EASEMENTS			
PURPOSE	SHOWN	BURDENED LAND (SERVIENT TENEMENT)	BENEFITED LAND (DOMINANT TENEMENT)
RIGHT OF WAY, RIGHT TO CONVEY WATER, GAS, ELECTRICITY AND TELECOMMUNICATIONS	LOT 120	LOT 120	LOTS 5 TO 10
RIGHT TO DRAIN WATER			LOTS 5 AND 6
RIGHT OF WAY, RIGHT TO DRAIN WATER, RIGHT TO CONVEY WATER, GAS, ELECTRICITY AND TELECOMMUNICATIONS	LOT 121	LOT 121	LOTS 13 TO 16 AND LOT 150

MEMORANDUM OF EASEMENTS IN GROSS			
PURPOSE	SHOWN	BURDENED LAND (SERVIENT TENEMENT)	GRANTEE
RIGHT TO CONVEY WATER	LOTS 120	LOT 120	
RIGHT TO DRAIN WATER AND RIGHT TO CONVEY WATER	LOTS 121	LOT 121	NEW PLYMOUTH DISTRICT COUNCIL

SCHEDULE OF PROPOSED EASEMENTS IN GROSS			
PURPOSE	SHOWN	BURDENED LAND (SERVIENT TENEMENT)	GRANTEE
RIGHT TO CONVEY TELECOMMUNICATIONS	LOT 120 AND 121	LOTS 120 AND 121	ULTRAFAST FIBRE LIMITED
RIGHT TO CONVEY GAS AND ELECTRICITY			POWERCO LIMITED

AMALGAMATION CONDITIONS:			
1. LOT 120 (LEGAL ACCESS) TO BE HELD AS TO SIX UNDIVIDED ONE SIXTH SHARES BY THE OWNERS OF LOTS 5 TO 10 AS TENANTS IN COMMON IN SAID SHARES AND THAT INDIVIDUAL RECORDS OF TITLE TO BE ISSUED IN ACCORDANCE THEREWITH.			
2. LOT 121 (LEGAL ACCESS) TO BE HELD AS TO FIVE UNDIVIDED ONE FIFTH SHARES BY THE OWNERS OF LOTS 13 TO 16 AND LOT 150 AS TENANTS IN COMMON IN SAID SHARES AND THAT INDIVIDUAL RECORDS OF TITLE TO BE ISSUED IN ACCORDANCE THEREWITH.			

OWNERS ASSOCIATIONS:			
1. ALL THE OWNERS OF LOTS 5 TO 10 SHALL BECOME MEMBERS OF AN OWNERS ASSOCIATION ESTABLISHED FOR THE REPAIRS, MAINTENANCE, AMENITY AND OTHER LIKE THINGS FOR LOT 120 (ACCESS).			
2. ALL THE OWNERS OF LOTS 13 TO 16 AND LOT 150 SHALL BECOME MEMBERS OF AN OWNERS ASSOCIATION ESTABLISHED FOR THE REPAIRS, MAINTENANCE, AMENITY AND OTHER LIKE THINGS FOR LOT 121 (ACCESS).			

ENVELOPE
W W W . E N V E L O P E - E N G . C O . N Z

DESIGNED: JEG DRAWN: JEG
CHECKED: TOF DATE: 6-Jan-2025
SCALE A1: 1:500 SCALE A3: 1:1000
STATUS: RESOURCE CONSENT
PROJECT No: 1653-01 DRAWING No: 108
REVISION: R6

Cladding Legend

- JH Stria
- JH Axon 133
- Truwood Vertical Weatherboards

Wall Legend

- Internal Load Bearing Wall
- JHETSS60h Fire Rated Wall
- GBTLAB 60b Fire Rated Wall



Space	Glazing (NZBC G7)		Ventilation (NZBC G4)		
	Floor Area	Glazing Area	Glazing%	Ventilation Area	Ventilation%
Living Space	27.9m ²	11.706m ²	41.96%	2.6125m ²	9.36%
Bed 1	11.57m ²	2.4m ²	20.74%	1.045m ²	9.03%
Bed 2	11.15m ²	2.4m ²	21.52%	1.045m ²	9.37%

KU-A Unit 2 Total Floor Area 66.19

Space	Glazing (NZBC G7)		Ventilation (NZBC G4)		
	Floor Area	Glazing Area	Glazing%	Ventilation Area	Ventilation%
Living Space	21.90	6.3m ²	22.58%	3.86m ²	13.84%
Bed 1	11.57m ²	2.4m ²	20.74%	1.034m ²	8.94%

KU-A Unit 2 Total Floor Area 66.19

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Kaumātua Block A

Client: Taranaki Iwi Holdings LP

Ōkato School Development

Job No:

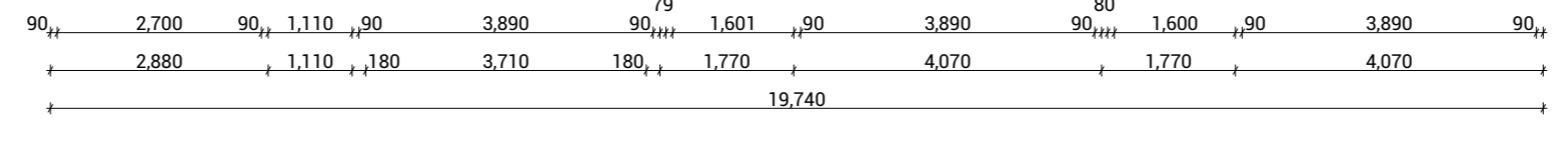
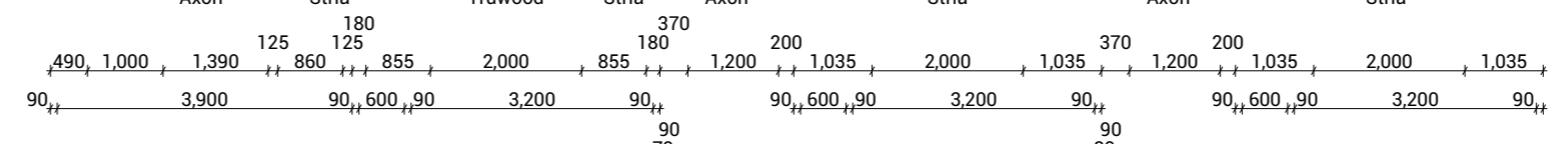
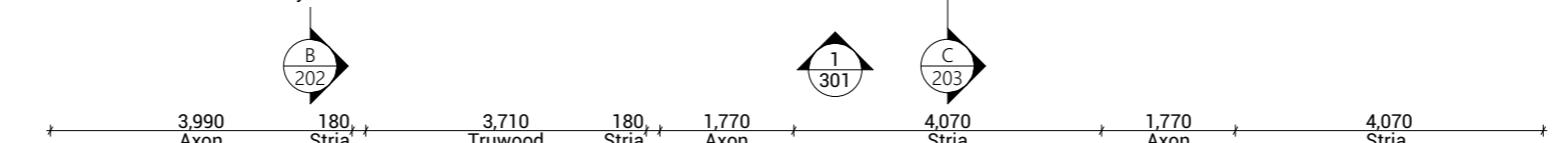
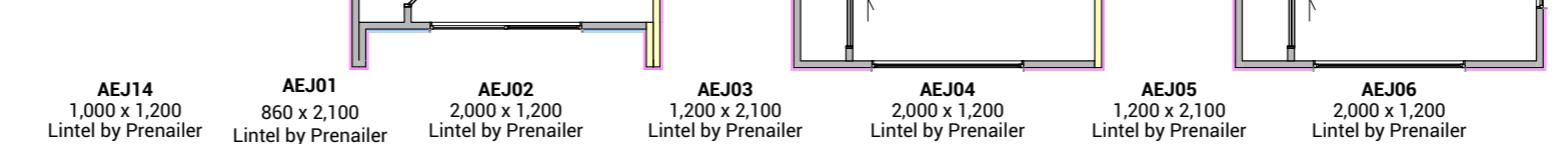
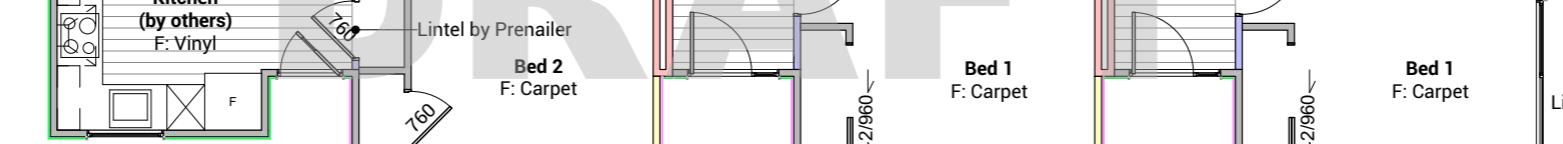
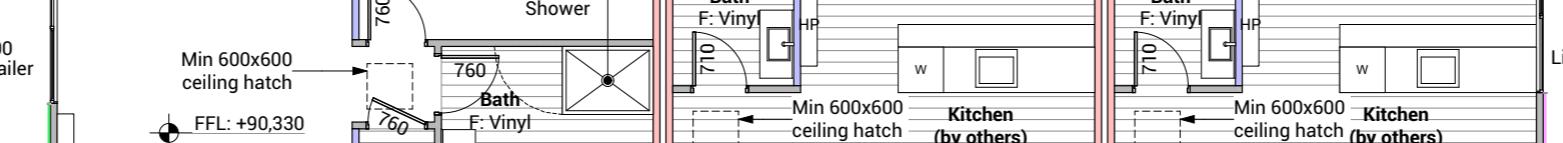
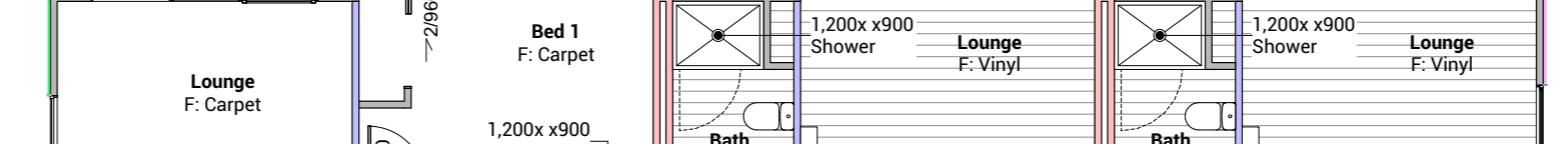
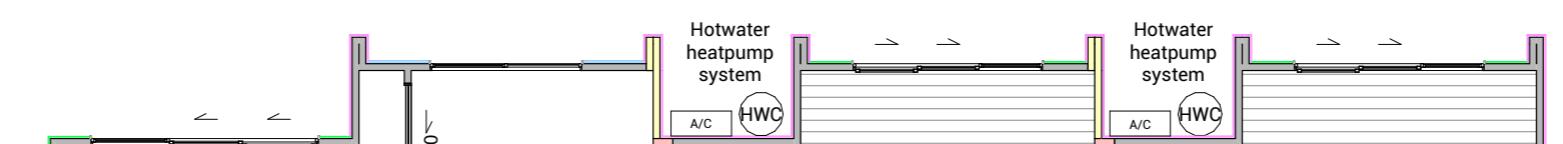
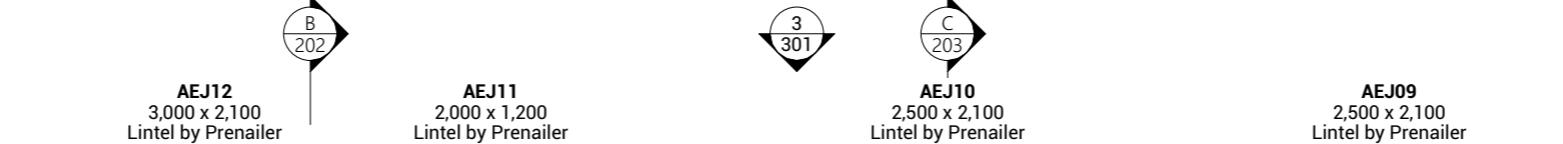
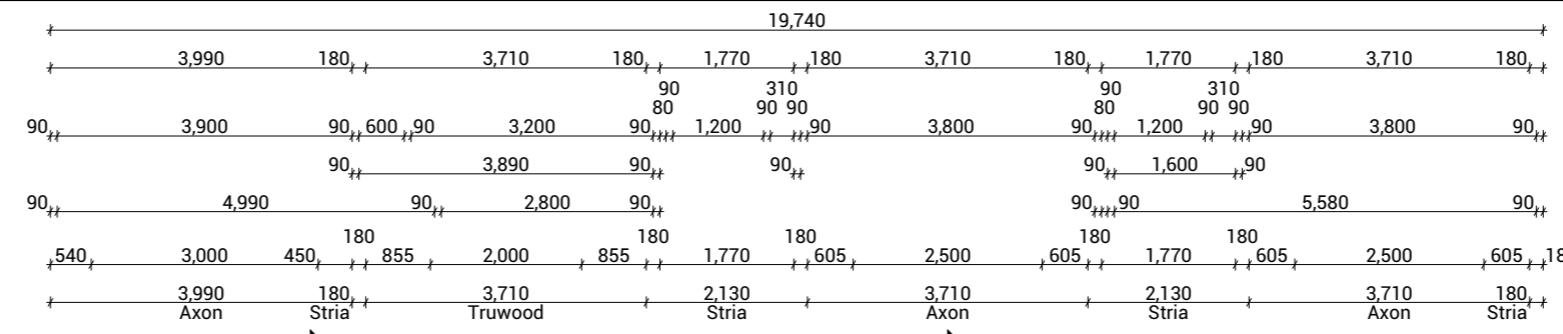
Taranaki

Date:

admin@primedesigns.co.nz

04 528 8405

3 Jupiter Grove, Trentham, Upper Hutt



PRIME DESIGNS
CREATIVE | FUNCTIONAL | ARCHITECTURE

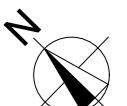
Drawing Set: **Working Drawings**

Drawn By: **B Buchanan-Smith**

Scale: **1:100**

Drawing Sheet: **Floor Plan**

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Drawing No: **108**

Roof Plan Notes

General Notes

Roof framing general

Trusses designed by truss manufacturer, refer to manufacturer's documentation.

All enclosed framing to be H1.2 SG8 unless otherwise noted. Framing to comply with NZS3604:2011

Client selected metal fascia.

Roof bracing to comply with NZS3604:2011 section 10.4

Zone B & C fixings and fastenings

Structural fixings except fabricated brackets in a Sheltered environment to be - Hot-dipped galvanized steel

Structural fixings except fabricated brackets in an Exposed environment to be - Type 304 stainless steel

All fixings be suitable for exposure zone C as outlined in NZS3604:2011 section 4.4 "steel fixings and fastenings"

Continuous spouting rainwater system

Continuous spouting rainwater system, spouting to have 5,000mm² cross sectional area, DN80 downpipes unless otherwise noted.

Roof Bracing

Steel strip roof bracing

Diagonally opposing pair of continuous steel strips at a 45° each having a capacity of 4.0kN in tension, fixed to each top chord or rafter that is intersected and to the top plate

Bottom Cord Restraints for GIB Rondo clip system

When GIB Rondo clip system is installed additional 90x35 SG8 battens @ 1800ctrs max as bottom cord restraints required.

Underlay

Roof underlay

Thermakraft Covertek 407 Fire-Retardant self-supporting roof underlay run vertically over purlins & horizontally on roof pitches less than 10 degrees. Fix using stainless steel 8-12mm staples or 20mm flat head clouts at 300mm ctrs. 150mm min cover over vertical and horizontal joins. Refer to manufacturer's information.

Roof Cladding

Corrugated roof cladding on purlins

0.55mm BMT corrugated profile Colorsteel Maxam roof cladding on purlins over roof underlay.

Purlins

70x45 Purlins (up to VH)

70x45mm H1.2 SG8 purlins @ 900mm ctrs regular spacing & 600mm ctrs end spacing, fixed to trusses with 1/10g 80mm long self-drilling screw or alternative 2.4kN fixing.

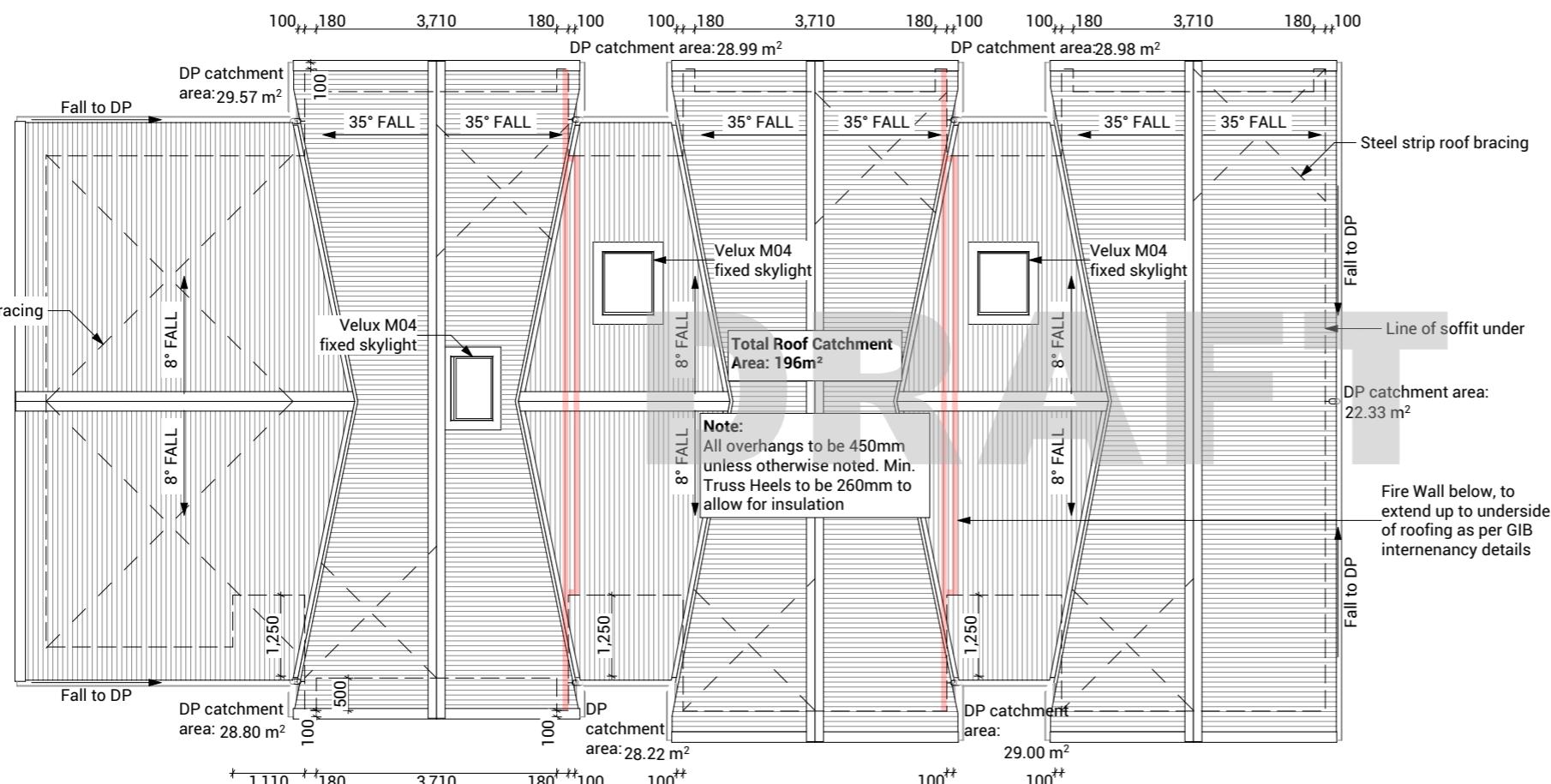
Gable Verge Overhang (450mm)

90x45mm H1.2 SG8 purlins fixed as per regular purlins to minimum 3 truss top cords or rafters to create 450mm max overhang.

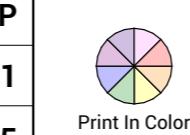
Soffit Linning

6mm HardieFlex soffit lining

6mm James Hardie HardieFlex soffit lining fixed to 90x45mm H1.2 soffit framing using 40 x 2.8mm HardieFlex nails at 200mm ctrs. Soffits jointed with proprietary uPVC jointers.



Kaumātua Block A	Client:	Taranaki Iwi Holdings LP
Ōkato School Development	Job No:	24101
Taranaki	Date:	01/08/2025
admin@primedesigns.co.nz	04 528 8405	



Drawing Set: Working Drawings	All work must comply with relevant NZS & council requirements. All dimensions to be verified on site by contractor prior to commencing work, do not scale from drawings. If there are any inaccuracies with the drawings, please contact designer immediately. Copyright for design & drawings retained by Prime Designs Wgtn Ltd.
Drawn By: B Buchanan-Smith	
Scale: 1:100	
Drawing Sheet: Roof Plan	Drawing No: 110



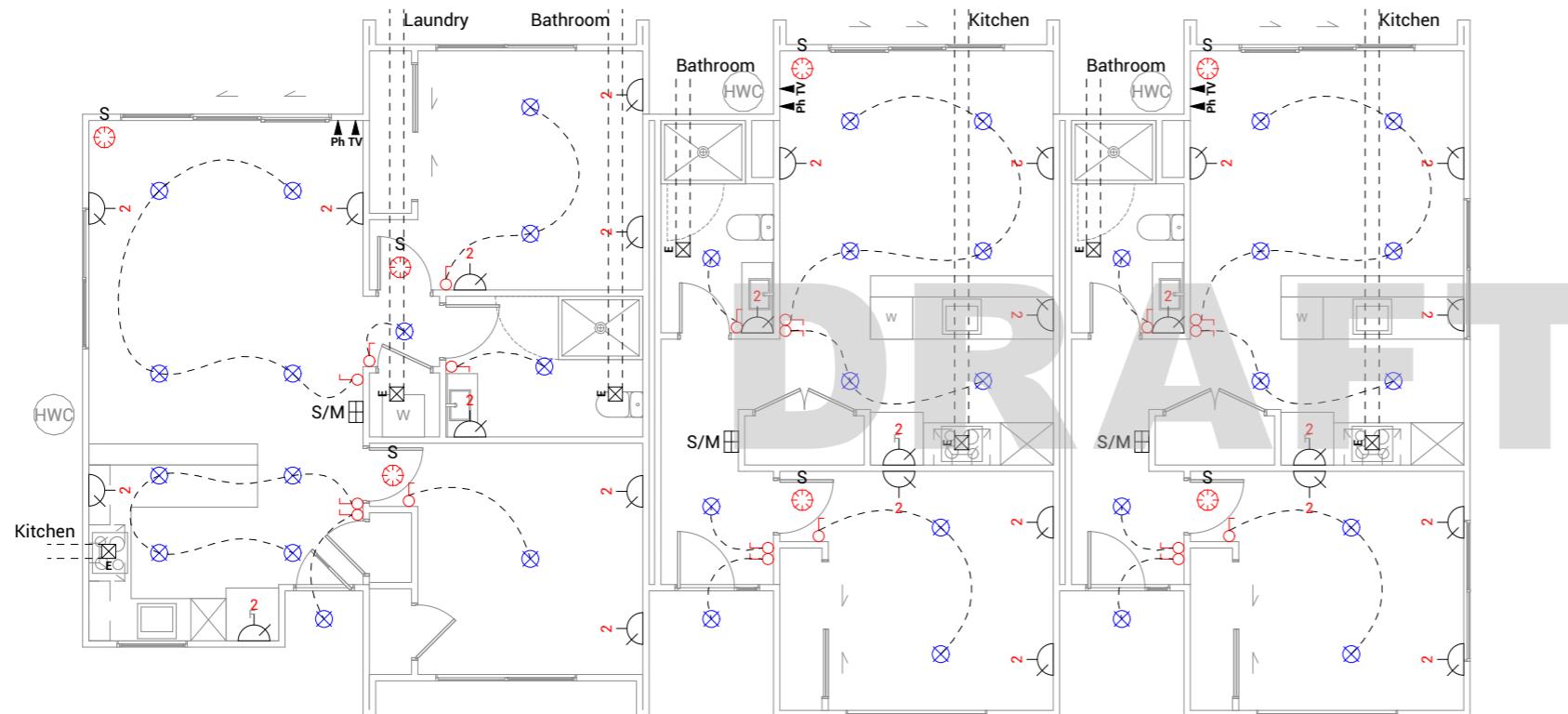
Electrical Notes

General electrical notes

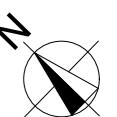
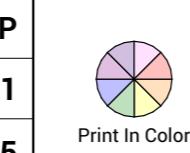
Ensure all habitable rooms are fitted with a minimum of one light fixture. All habitable internal spaces are to have a minimum illuminance of 20 lux or a minimal total wattage required per m² of floor area as shown in G8/AS1, Table 1. Lights in the stairwell to provide 100lux at tread level or a total wattage per m² of floor plan area as shown in D1/AS1 table8,

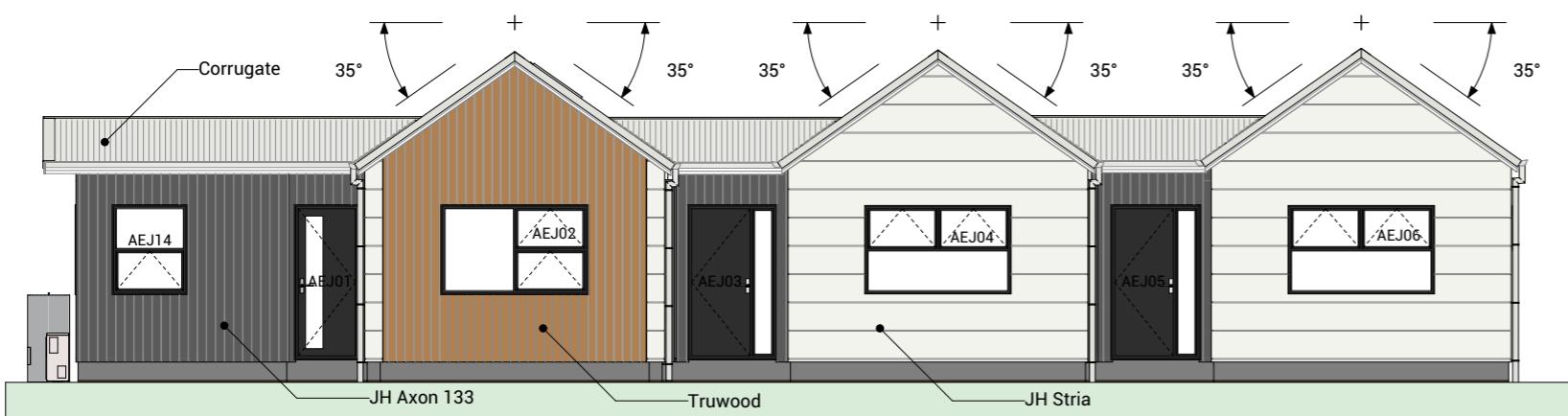
Electrical Legend

 S/M	Smart Meter
 S	Smoke detector
 E	Extractor fan
 P	Power point
 Ph	Phone outlet
 TV	Television outlet
 L	Light switch
 2L	Two way light switch
 Ø	Recessed downlight

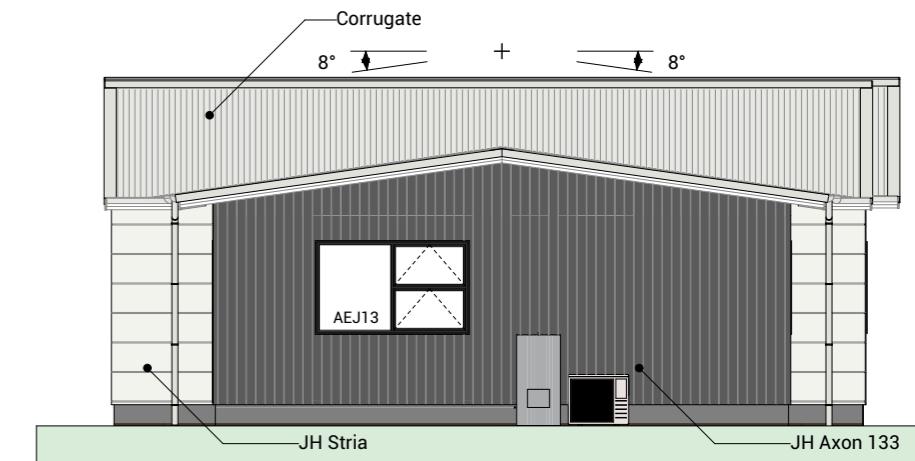


Kaumātua Block A	Client:	Taranaki Iwi Holdings LP
Ōkato School Development	Job No:	24101
Taranaki	Date:	01/08/2025
admin@primedesigns.co.nz	04 528 8405	





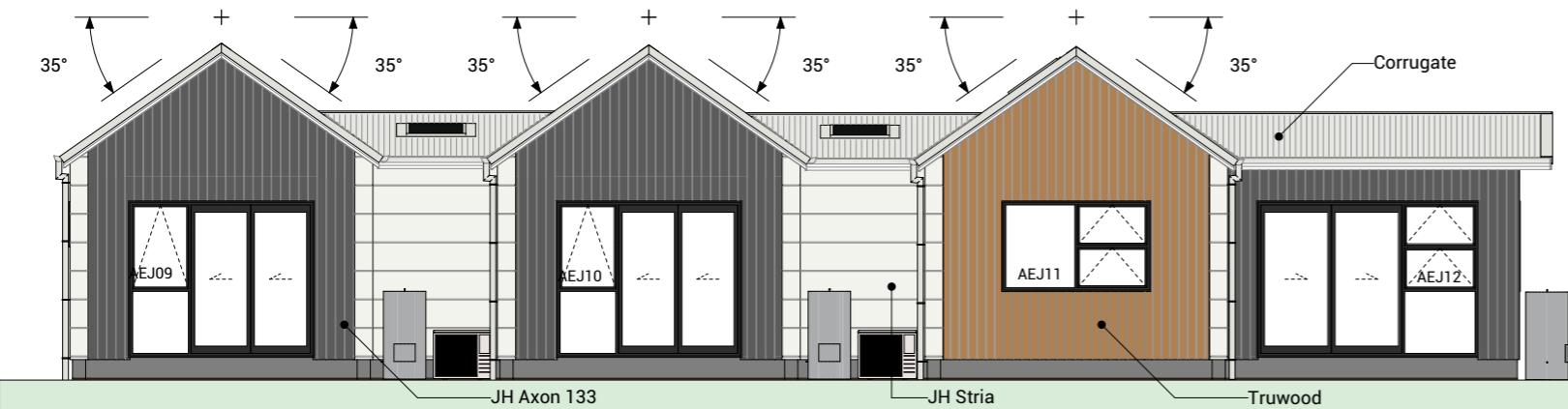
1 South-West Elevation 1:100



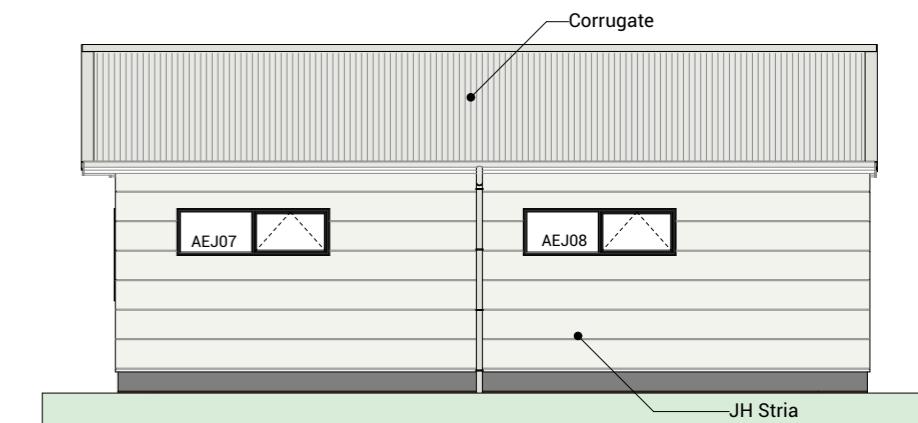
2 North-West Elevation 1:100

BUILDING ENVELOPE RISK MATRIX		
All Elevations		
Risk Factor	Risk Severity	Risk Score
Wind zone (per NZS 3604)	High risk	1
Number of storeys	Low risk	0
Roof/wall intersection design	High risk	3
Eaves width	Very high risk	5
Envelope complexity	Medium risk	1
Deck design	Low risk	0
Total Risk Score:	10	

DRAFT

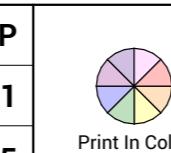


3 North-East Elevation 1:100



4 South-East Elevation 1:100

Kaumātua Block A	Client:	Taranaki Iwi Holdings LP
Ōkato School Development	Job No:	24101
Taranaki	Date:	01/08/2025
admin@primedesigns.co.nz	04 528 8405	3 Jupiter Grove, Trentham, Upper Hutt





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OKATO SCHOOL
OKATO, TARANAKI

FOR COUNCIL ANDSCAPE PLAN

EV: E DATE: 25/06/2025 SHEET No.

CALES (A3):
1:150